

# ATLAS GP LIMITED

7th Floor, O'Connell Bridge House, 27/28 D'Olier Street, Dublin 2, D02 RR99

14<sup>th</sup> March 2022

## Letter of Consent

To whom it may concern,

We the undersigned are the owners of the property located on Blackthorn Road/Carmanhall Road (former Avid Technology International Site), Sandyford, which is currently the subject of an SHD Pre-Application Consultation with An Bord Pleanála under reference ABP-312265-21. This site shares a common boundary with the former 'Tack' site bounded by Carmanhall Road and Ravens Rock Road which is subject of an SHD planning application to An Bord Pleanála.

We can confirm that Atlas GP Ltd. and Sandyford Environmental Construction Ltd. have prepared a joint Masterplan for the two adjoining sites to facilitate future development with a co-ordinated and complementary approach. There is a portion of Atlas GP Ltd. property within the redline of Sandyford Environmental Construction Ltd. SHD application boundary (identified as 'Avid Land' on the enclosed plan 1081-MDO-TS-XX-DR-A-05003).

Under Section 17(3) of the Planning and Development (Amendment) (Large-scale Residential Development) Act 2021), Atlas GP Limited has confirmed to An Bord Pleanála of its intention to proceed and lodge an SHD application for the development within the period of 16 weeks beginning on the date on which a notice under section 6(7)(b) of the Act of 2016 is issued in relation to the proposed strategic housing development.

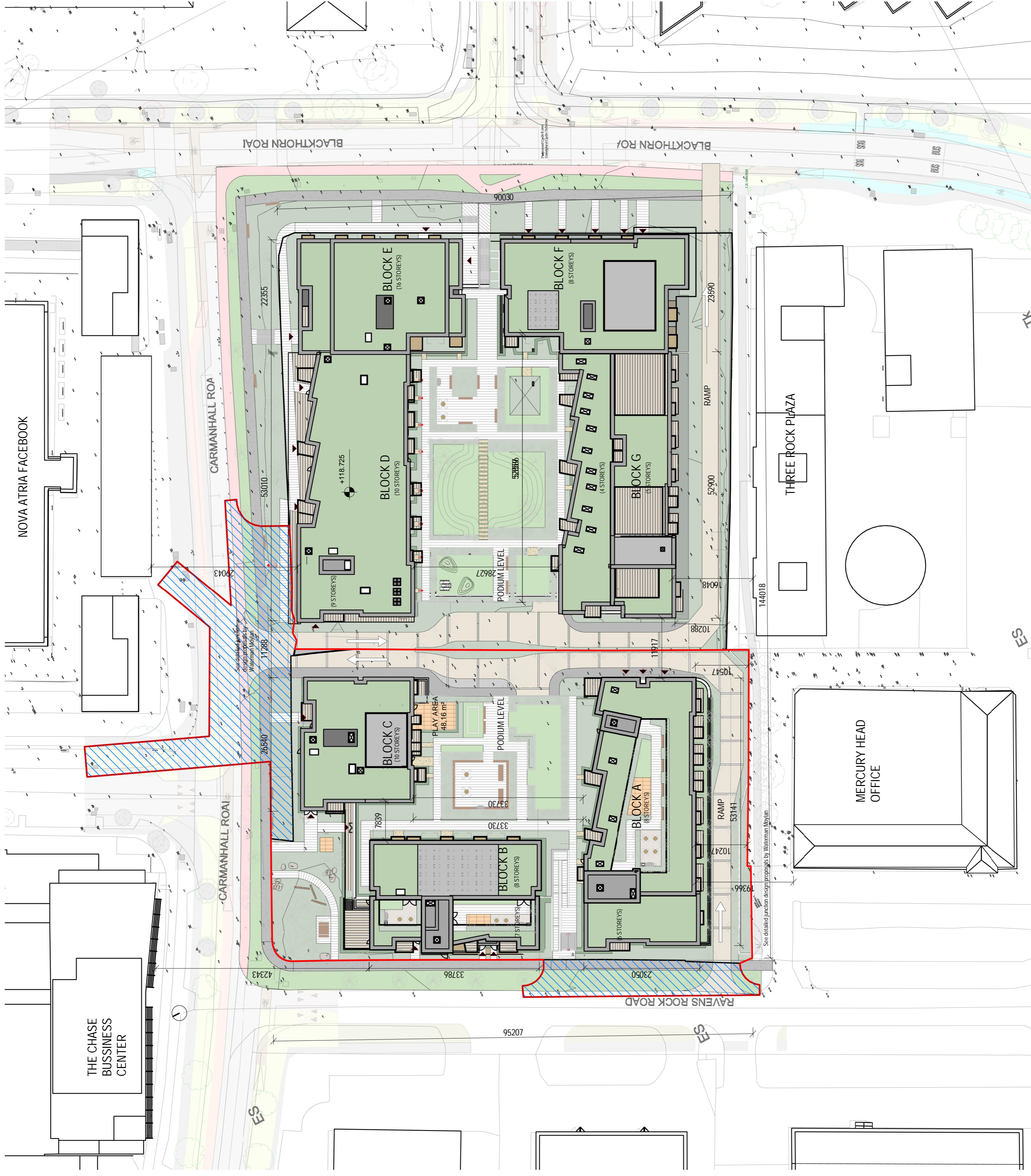
We hereby wish to state our support for the application by Sandyford Environmental Construction Ltd. For clarity, we consent to the making of the planning application, including the 'Avid Land' described above and having regard to development along the common property boundary, in order to provide for a co-ordinated approach to development.

Yours faithfully,



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Pat Crean  
Director  
For and on behalf of Atlas GP Ltd



1 05000 - SITE PLAN - MASTERPLAN 1:500

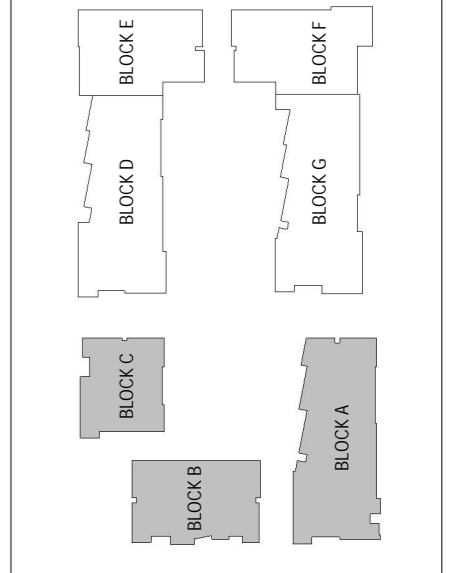
REV	DATE	DESCRIPTION	BY
1	15/02/2021	PAC	AT
2	09/03/2022	S403	AT

**SITE LEGEND**

- SITE BOUNDARY
- LEGAL INTEREST BOUNDARY
- DLRC LAND = 1315 m<sup>2</sup>
- AVID LAND = 7 m<sup>2</sup>

**NORTH POINT**

APPROVED BY  
  
 SELLER



PLANNING

Client: Sandford Environmental Construction Ltd & Atlas GP Ltd  
 Project: AVIDTACK SANDYFORD SHD  
 Title: SITE PLAN - MASTERPLAN

Sheet No: 1081-MDO-TS-XX-DR-A-05003  
 Scale: As indicated @ A1 Current Rev: 2 Project No: 1081

**MC CAULEY DAYE O'CONNELL**  
 ARCHITECTS

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